

Planning Direction Pty. Ltd.
Town Planning & Development Services

**Blacktown Council
 62 Flushcombe Road
 Blacktown
 NSW 2153**

10 July 2019

**Development Application(s)
 59 Cudgegong Road Rouse Hill Site 1
 DA SPP-17- 400007**

Dear Bertha

I refer to the above matter that was considered by the Sydney Central Planning Panel on 24th April 2019 at which time the determination of the application was deferred pending the submission of amended plans/information that:

1. Provide additional deep soil landscaped areas.
2. Improves the privacy and increases the separation between apartment balconies where they are non compliant with the ADG.
3. Provide compliant solar access for not less than 70% of the apartments.

Please find attached amended plans that resolve the above matters as follows.

Deep Soil

The amended plans increase the quantum of deep soil on the site through the provision of additional areas in the north western corner of the site, the south western corner of the site, midway along the

northern street boundary (adjacent to the pedestrian entry), and increasing the size of the deep soil area that is centrally located between blocks A and B . These areas have a minimum dimension of 6m and are able to accommodate large canopy trees. This has resulted in a reduction in the amount of on-site car parking however the proposal remains compliant with the car parking requirements under the governing planning regime.

Numerically the total on site deep soil and landscaping is:

1. Deep soil zones with a minimum dimension of 6m in any direction: 889.54sqm or 10.48% of the site area
2. Additional deep soil with a dimension of less than 6m: 403.42 sqm or 4.75% of the site area
3. Total deep soil (sum of 1 and 2): 1292.96sqm or 15.23% of the site area
4. Planting on structures (soil depth of a minimum 1000mm): 561.56sqm or 6.61% of the site area
5. Total Deep soil areas (sum of 1, 2 and 4): 1921.28sqm or 22.63% of the site area

The ADG defines '*deep soil*' as:

Deep soil zone

'area of soil within a development that are unimpeded by buildings or structures above and below ground and have a minimum dimension of 6m. Deep soil zones exclude basement car parks, services, swimming pools, tennis courts and impervious surfaces including car parks, driveways and roof areas'.

The ADG numeric guideline for deep soil is 7% of the site area that in this instance equates to 594.30sqm. **The proposal provides 10.48% of the site area as deep soil (6m dimension) complying with the ADG numeric guideline.**

The deep soil zones are supplemented by additional deep soil zones to the perimeter of the site; these areas co-exist with the deep soil street verge providing a substantial root zone. The building setback and the road verge accommodate larger trees without compromising the canopy spread. It should be noted that in this case the width of the perimeter deep soil zone to the street frontages was reduced because Councils required road width increased from 16m to 18m; Council acknowledged that the perimeter deep soil zone could be reduced because of this circumstance.

The deep soil landscaping is further supplemented by planting on structures. Part 4P of the ADG – ‘planting on structures’ also notes that: *‘Planting on structures is where plants are on top of built structures such as basement car parks, podiums, roofs and walls. Planting on structures can provide amenity, improve air quality and microclimate, and reduce direct energy use and stormwater runoff. It can also supplement deep soil planting on sites where opportunities for this are limited or restricted, e.g. in high density areas’.*

The additional landscaping on structures equates to 561.56sqm or 6.61% of the site area. The ADG recommends soil depths of 800mm to 1200mm for small to large trees. The planter bed depths where tree planting is proposed achieve the ADG criteria for the relevant tree species/type.

The project landscape architect has confirmed that the deep soil zones and the planter beds on structures are acceptable for the species proposed in terms of soil depth and soil volumes.

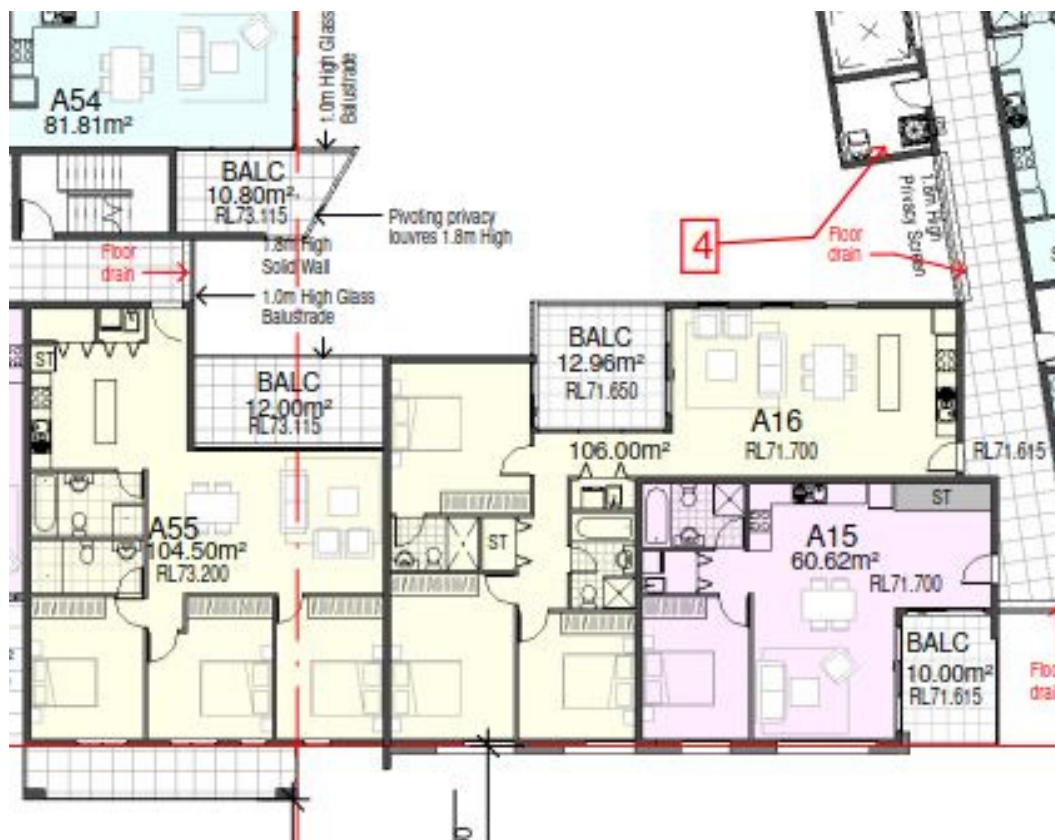
Having regard to the above the Panel can be satisfied that the proposed buildings will sit in a well landscaped setting. The ‘quantum’ of deep soil has been increased as requested and complies with the ADG guidelines. The natural deep soil areas are supplemented by additional planting on structures. Importantly the proposed landscaping provides a high quality environment having particular regard to the streetscapes and the amenity of internal areas.

Privacy

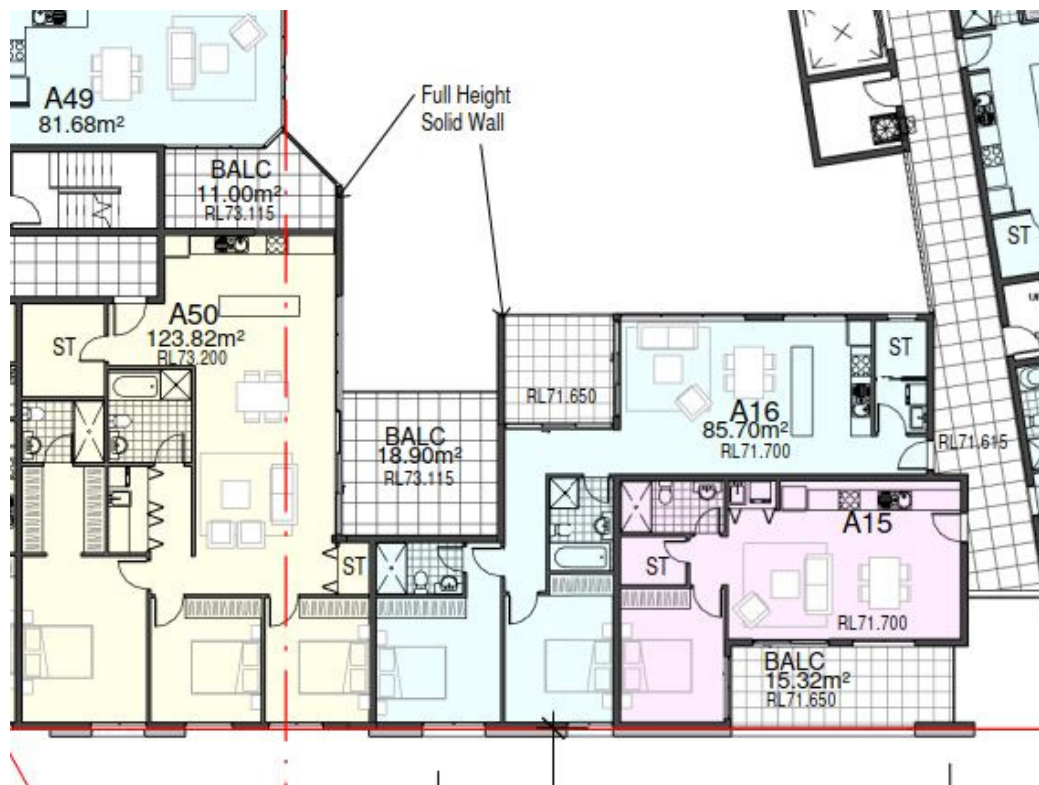
The plans have been amended to improve the spatial relationship between balconies; the separation between 'building A' and 'building B' has been increased.

There have also been modifications to the unit/balcony layouts to resolve the privacy concerns identified by the Panel; these modifications have also improved solar access.

The above has resulted in a reduction in the unit yield from the proposed 170 apartments to 163 apartments. The overall site FSR is 1.64:1 being well under the permitted 1.75:1.



Originally proposed balcony relationship



Amended plan balcony relationship.

Solar Access

The project architect and project urban designer have confirmed that the amended plans result in 74.23% of the apartments achieving 2 hours of solar access and receive direct sunlight to an area of 1 square metre at a height of 1 metre for a minimum of 15 minutes achieving the ADG standard of 70% of the apartments in the development.

Trusting that the above resolves all outstanding matters, enabling development consent to be granted.

Yours Sincerely

Danny Jones
(Bachelor of Urban and Regional Planning- UNE)